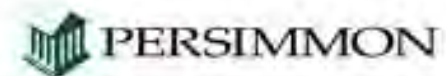


Proposed Community Leisure Centre Rectory Lane, Standish



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Overview

GT Architects were appointed by Persimmon & Morris Homes to develop the enclosed proposals. This Design and Access Statement provides a concise description of our approach to the project and the design proposals. The Design & Access Statement accompanies a full planning application.

This statement is composed of two parts; the design component and the access component.

The design component illustrates the design principles and concepts that have been applied to the development proposal. The particular aspects of the proposal described are the context, amount, design principles, layout, scale, landscaping and appearance of the development.

The access component demonstrates how the application proposals provide for inclusive and convenient access to the building, external spaces and public transport.

The application is for a proposed new community leisure facility with associated car parking (93 spaces total) and hard/ soft landscaping on land adjacent to Rectory Lane, Standish, as part of the overall housing masterplan produced by Persimmon & Morris Homes.

The site includes 2 multi use sports pitches and 1 hard standing for external gym equipment (all to be fenced off)



02. Site Location and Context

Location and Context

Location

The existing site is located to the East of the town of Standish off Rectory Lane (B5239)

The site is currently used by Standish Court Golf Club.

The leisure centre is part of the greater housing masterplan developed by Persimmon & Morris homes, which is situated off Rectory Lane to the north which divides the overall housing development, and adjacent a new access road to the east.

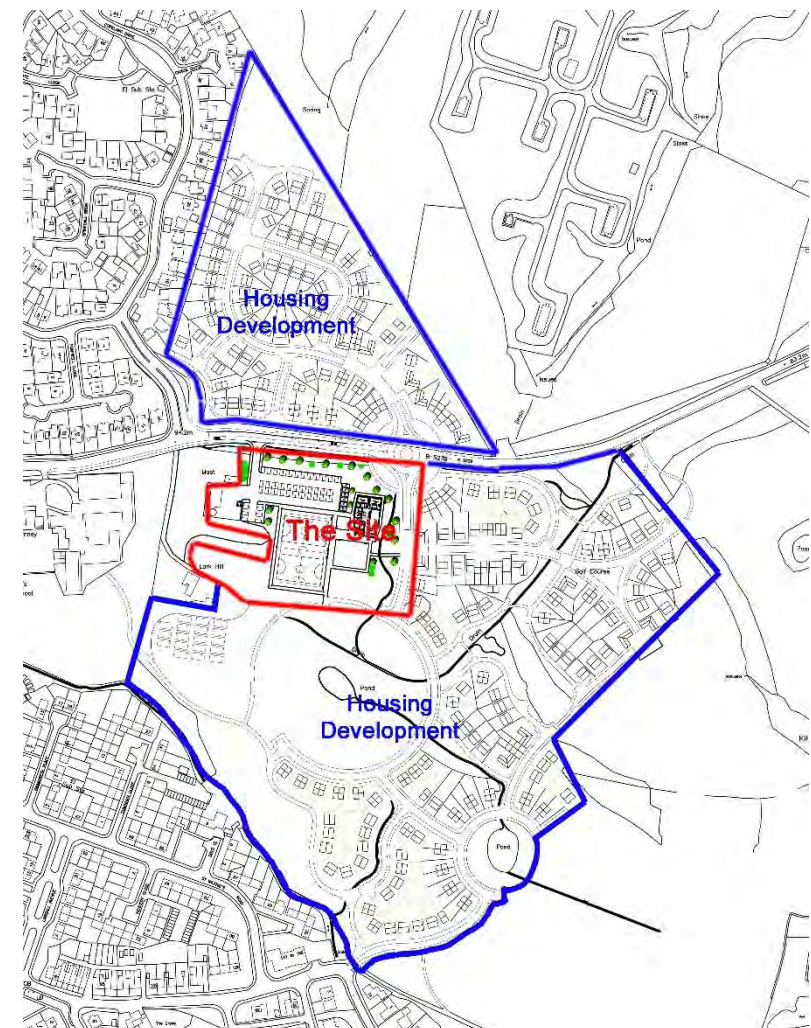
The western boundary is marked by the existing golf club boundary and existing tree line. The southern boundary borders the proposed open green space provided as part of the housing development.

Vehicular access to the site is via Rectory Lane to the North of the site.

Pedestrian access routes are provided along Rectory Lane from the town and new routes provided through the green space as part of the larger masterplan.



Existing Site location plan



Development Site plan

1:1250 Scale Bar

0m 5m 10m 15m 20m

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EXISTING SITE PLAN

14011 (08) 903

Existing Site Photos

Photo's of site context

The photographs below were taken of the site to understand the sites immediate context and to record the size, volume, scale , massing and materials of the neighbouring buildings

It is also essential to understand key linkages, routes and vistas, both to and from the site, and to gain an understanding of how the site fits within its wider context, and indeed to explore opportunities for improving connectivity via the addition of any new building.

1



2



Before

3



Approx proposed building height after.

03. Design Process / Principles

Use

The scheme proposal is for a two storey standalone community / sports centre with 3 associated multi use sports surfaces. An artificial 3G football pitch to accommodate 2 5-a-side football pitches or one full size pitch to meet Football Association guidance. A Multi use games area (MUGA) for basketball, tennis football etc and an outdoor fitness area to include gym style external equipment

Amount

PROPOSED

Site Area

Approximately 124,75m² (3.36 acres)

Community Leisure Centre

Gross External = 593 m²

Gross Internal = 821 m² (GF – 487; FF – 334 m²)

Synthetic 3G Football Pitch = 2420 m²

Muga (multi use games area) = 456m²

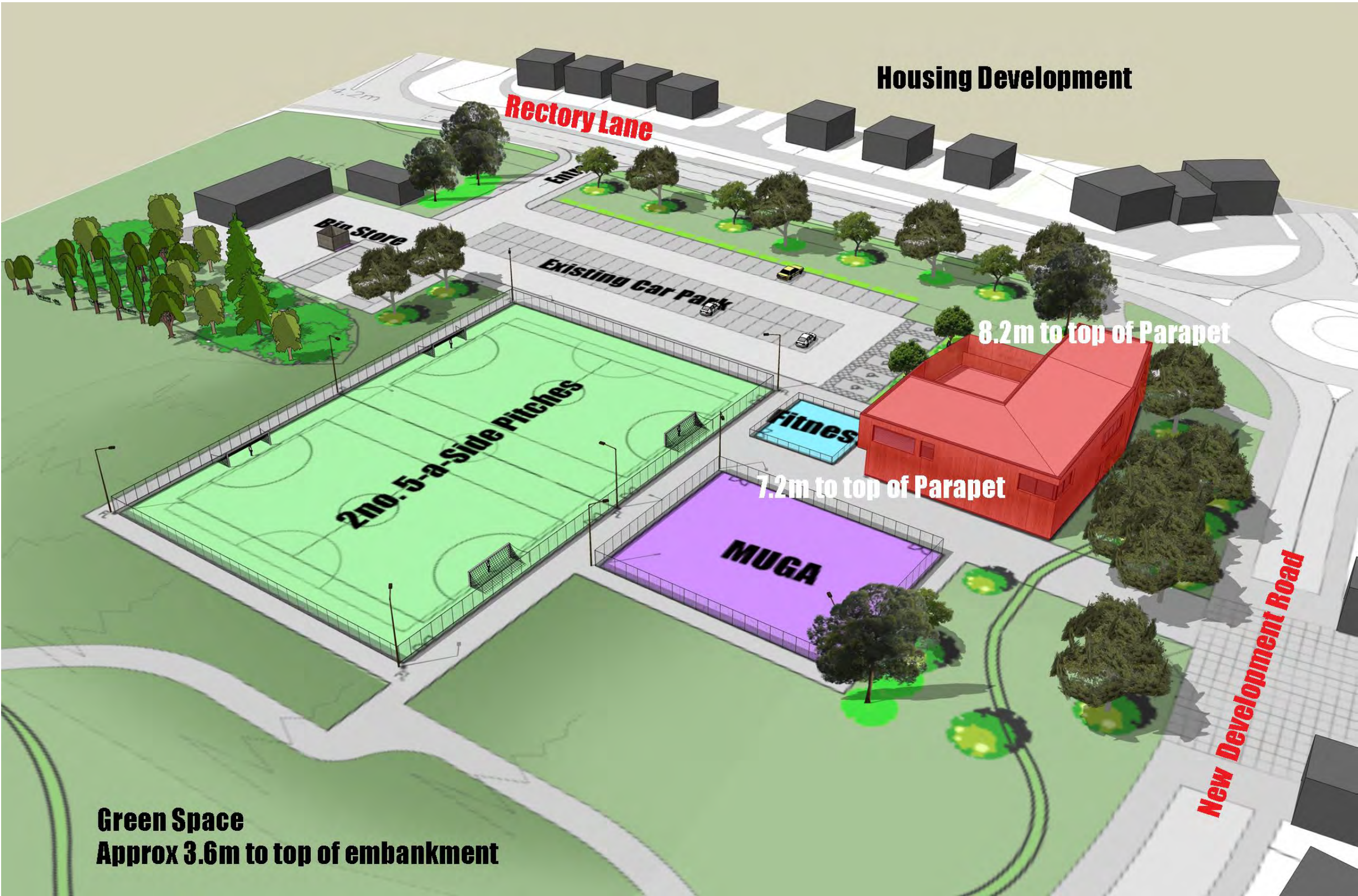
Outdoor fitness area = 100 m²

Car Parking

Total 93 car parking spaces (including 6 Disabled)



Use – Building Heights



Use

DESIGN BRIEF

This project brief has been developed to inform the design process for the Leisure development as part of the Morris/Persimmon Homes development of the former golf course on Rectory Lane.


The brief captures the main spatial and operational requirements for the development to ensure the architectural and engineering design meets the operational needs of WLCT.

The brief is split into 4 main areas as listed below:

Health and Fitness
 Synthetic pitch
 Multi use games area
 Ancillary Accommodation

Each area is detailed in turn.

- Health & Fitness
 - 300 sq.m gym to support 40 stations
 - 100 sq.m Studio with 15 sq.m store, timber sprung floor
 - Separate male / female changing area for 50 in each in accordance with Sport England Guidance.
- Synthetic Pitches
 - Minimum FIFA 1 star 3G surface with shock pads.
 - 2 x sets of self weighted mobile 5 a side goals
 - 1 x set of self weighted mobile 7 a side pitches
 - 2,7m high pitch dividing system
 - Boundary fencing and floodlighting to SE guidance
 - 2no. Outdoor changing spaces with external access.
- Multi use games areas
 - Small MUGA circa 26 x 21 as Sport England guidelines to support multi sports activities to include mini tennis, tennis, netball, dodge ball etc.
 - Outdoor fitness area to include training rig such as the Synergy Blue Sky 14
- Ancillary Accommodation
 - Reception to support 2no. Staff
 - Staff Office, 10sq.m to support 2no. Staff
 - Retail / Vending located near reception including 3 vending machines
 - Seating area for approx. 10 seats
 - Storage

14011 (01) 001 rev. A		Area Schedule	
			
Area type		Area (m ²)	
Ground Floor			
Entrance lobby / Café space		102.0	
Reception		8.0	
Server Room		2.5	
Admin Office		12.7	
Studio		96.5	
Studio Store		12.7	
Store		4.0	
Access Wc / Shower		6.1	
Male Change Lobby		5.0	
Male Change		50.0	
Male Wc		10.0	
Male Showers		10.0	
Female Change Lobby		5.0	
Female Change		51.0	
Female Wc		11.0	
Female Showers		10.0	
Outdoor Change 01 (inc Showers)		24.0	
Outdoor Change 02 (inc Showers)		20.0	
Accessible Wc		3.5	
Outdoor Change Lobby		13.6	
Net useable area		458	
GIFA		487	
First Floor			
Landing		14.0	
Fitness Gym		300.0	
Gym Office		10.0	
Plant		23.0	
Cleaners Cupboard		3.5	
Net useable area		351	
GIFA		373	
Total Net Useable Area		808	
Total GIFA		860	

Layout

The proposed site layout involves the building set at the corner of the site at the new junction on Rectory Lane and the proposed housing development, on top of the existing golf club footprint whereby the existing car park can be retained. This allows natural surveillance and reduces potential crime and anti-social behaviour as recommended within 'Secure by Design' published by the Police authority.

The building is situated in such a way that provides views out onto the three multi purpose pitches with potential signage zones to the side and rear of the building adjacent the access roads.

The building has been designed so that its built form enhances this visually prominent corner location in the built environment. The building should read as a local landmark.

Elevations adjacent to the street have been designed to be visually interesting and over the street with an element of natural surveillance. Therefore, these facade elements facing the street have large amounts of glazing which also creates an active frontage into the fitness suite.

The elevations have also been designed to create a step down in height, minimising the height of the building as much as possible (given the activity space requirements internally), giving a "human scale" to the proposed street frontages.

The entrance point has been sited adjacent to the 'Square' so that it is more prominent in the local built environment and more convenient for pedestrians and cyclists.

The new access road comes directly into the existing car park off Rectory Lane as designed by CBO Transport as part of the overall housing development.

Planting is proposed around the site to match the overall development. Please refer to the Soft Landscaping masterplan.

The access road and carpark roadways will be re-surfaced with black macadam. For proposed Hard Landscaping layout, please refer to the Hard Landscaping Plan prepared by GTA for more details (14011(08)907)



Proposed Site Plan



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PLANNING

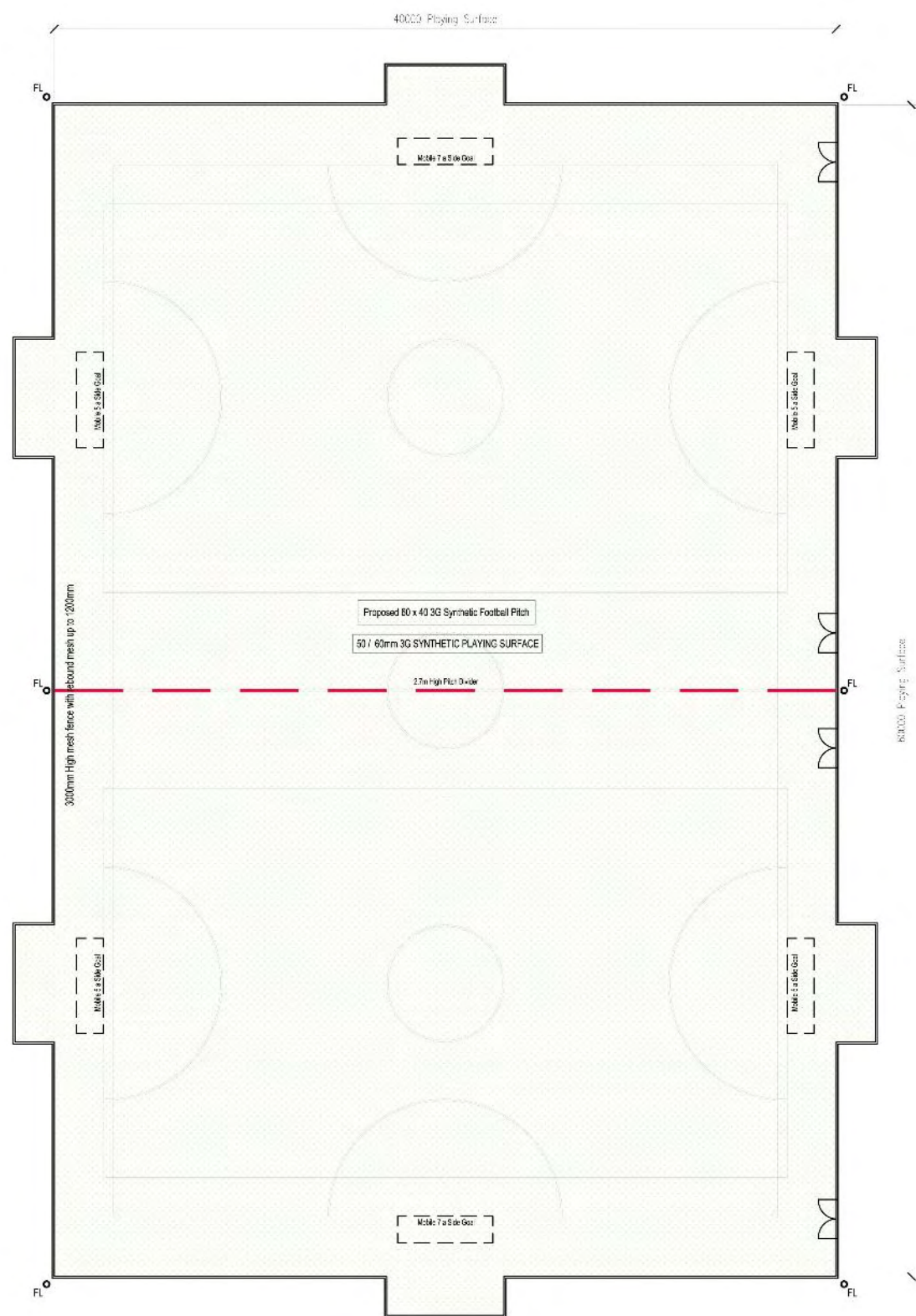
PROPOSED CENTRE SITE PLAN

14011 (08) 905

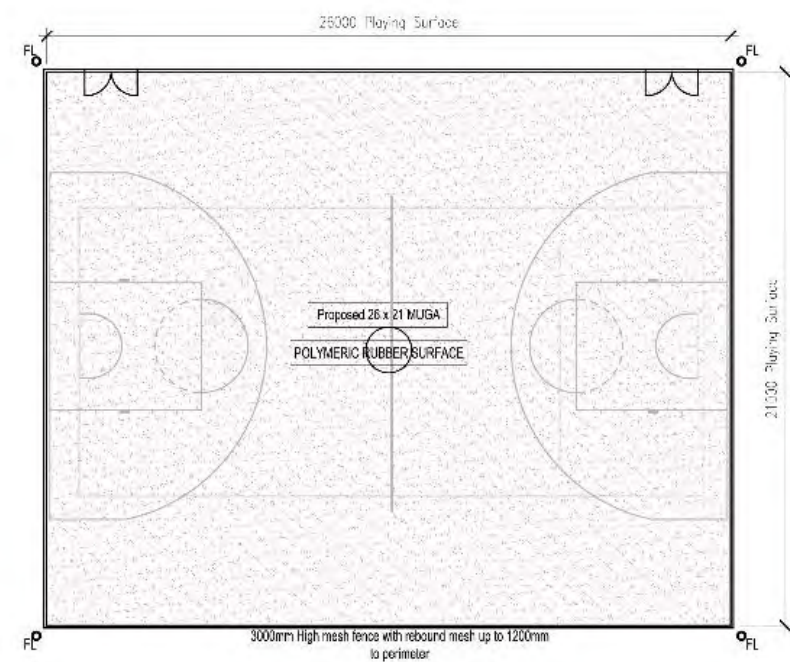
GT Architects

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Proposed Multi Purpose Pitches



JUNIOR FIFA 1 STAR 3G SYNTHETIC PITCH



SMALL Multi Use Games Area (MUGA) PITCH

3G		Primary Sport		Secondary Sport	
	60 & 65mm (incl. shock pad)		Rugby		Football
	50 & 60mm		Football		Low impact Rugby
	40mm (incl. shock pad)		Football		Hockey
Sand		Primary Sport		Secondary Sport	
	18-23mm Sand Dressed (incl. shock pad)		Hockey		Football Tennis
	18-23mm Sand Filled (incl. shock pad)		Hockey		Football Tennis
Muga*		Primary Sport		Secondary Sport	
	Tarmac		Basketball Tennis Netball		5-a-side
	12-20mm Polymeric		5-a-side Basketball Athletics Netball		Tennis

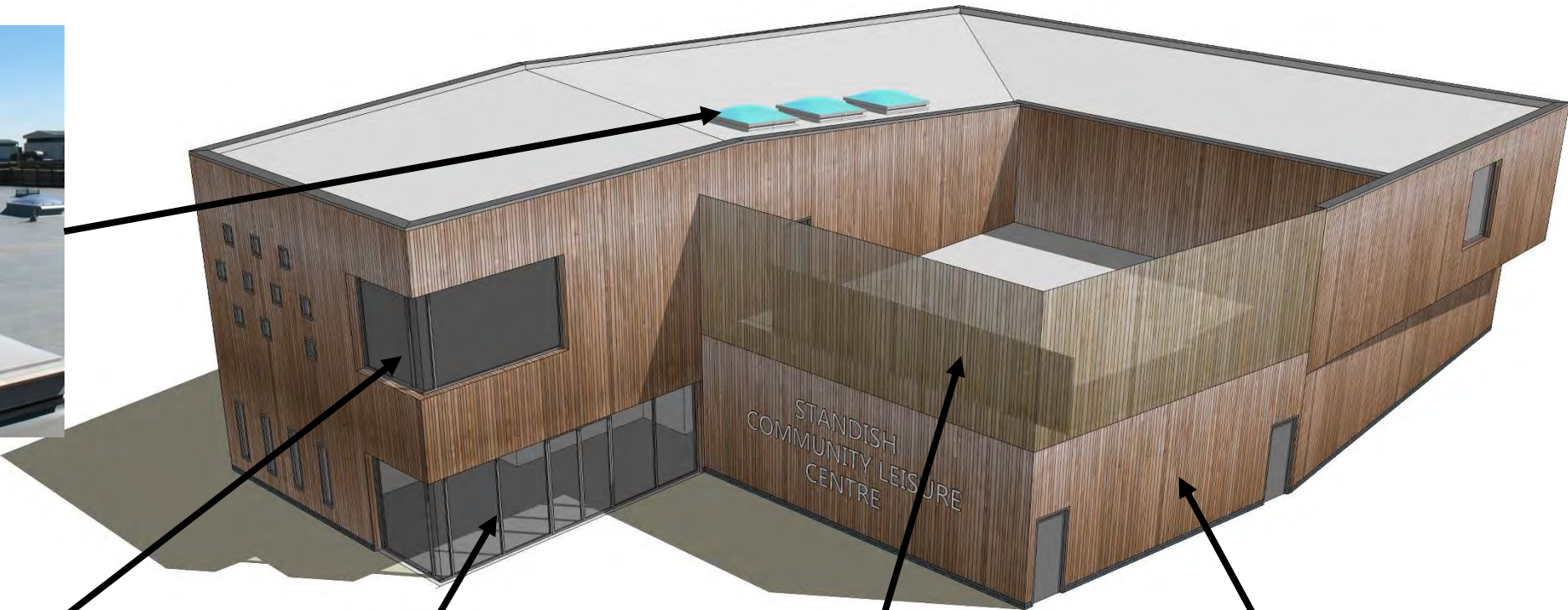
* Multi-Use Games Area

PREFERRED PLAYING SURFACE
Prestige Sports Pitch Surfaces

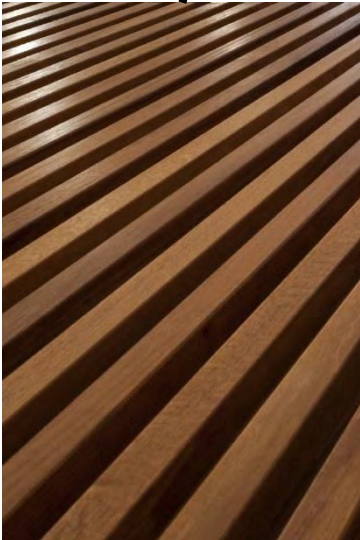
Materials



Single ply membrane roof and roof lights



Aluminium window frames and Entrance door set



Vertical timber panel screening (to match cladding)



Vertical cladding as tresspa panels in varied colours as shown.

Proposed Elevations - 1

LEGEND	
1.	Trespass (or similar) timber veneer cladding.
2.	Through colour render - Colour: tbc
3.	Below ground masonry
4.	External steel door sets - Colour: tbc
5.	Aluminium framed double glazed window units - Colour: tbc
6.	Aluminium framed double glazed main entrance, with automatic opening door - Colour: tbc
7.	Pre cast concrete external stair & spectator terracing with anti slip finish.
8.	PPC aluminium balustrade - Colour: tbc



SOUTH ELEVATION



WEST ELEVATION

Proposed Elevations - 2

LEGEND	
1.	Trespas (or similar) timber veneer cladding.
2.	Through colour render - Colour: tbc
3.	Below ground masonry
4.	External steel door sets - Colour: tbc
5.	Aluminium framed double glazed window units - Colour: tbc
6.	Aluminium framed double glazed main entrance, with automatic opening door - Colour: tbc
7.	Pre cast concrete external stair & spectator terracing with anti slip finish.
8.	PPC aluminium balustrade - Colour: tbc



NORTH ELEVATION



EAST ELEVATION

3D Visuals - 01



SOUTH WEST



SOUTH EAST



NORTH WEST



NORTH EAST

3D Visuals - 02



Context 3D Visuals - 01



NORTH WEST



NORTH EAST

Context 3D Visuals - 02



Roundabout - Rectory Lane

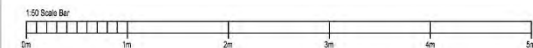


North West – Car Park



South West Corner on top of embankment

Proposed Ground Floor Plan



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REV: A - Amended in response to feedback from planning department 24.11.14

PROJECT: STANDISH COMMUNITY LEISURE CENTRE

DRAWING: GROUND FLOOR PLAN

PROJECT NO: 14011 (08) 001

DATE: 08/08/14

SCALE: 1:50

PROJECT NO: 14011 (08) 001

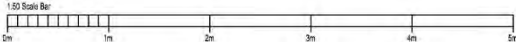
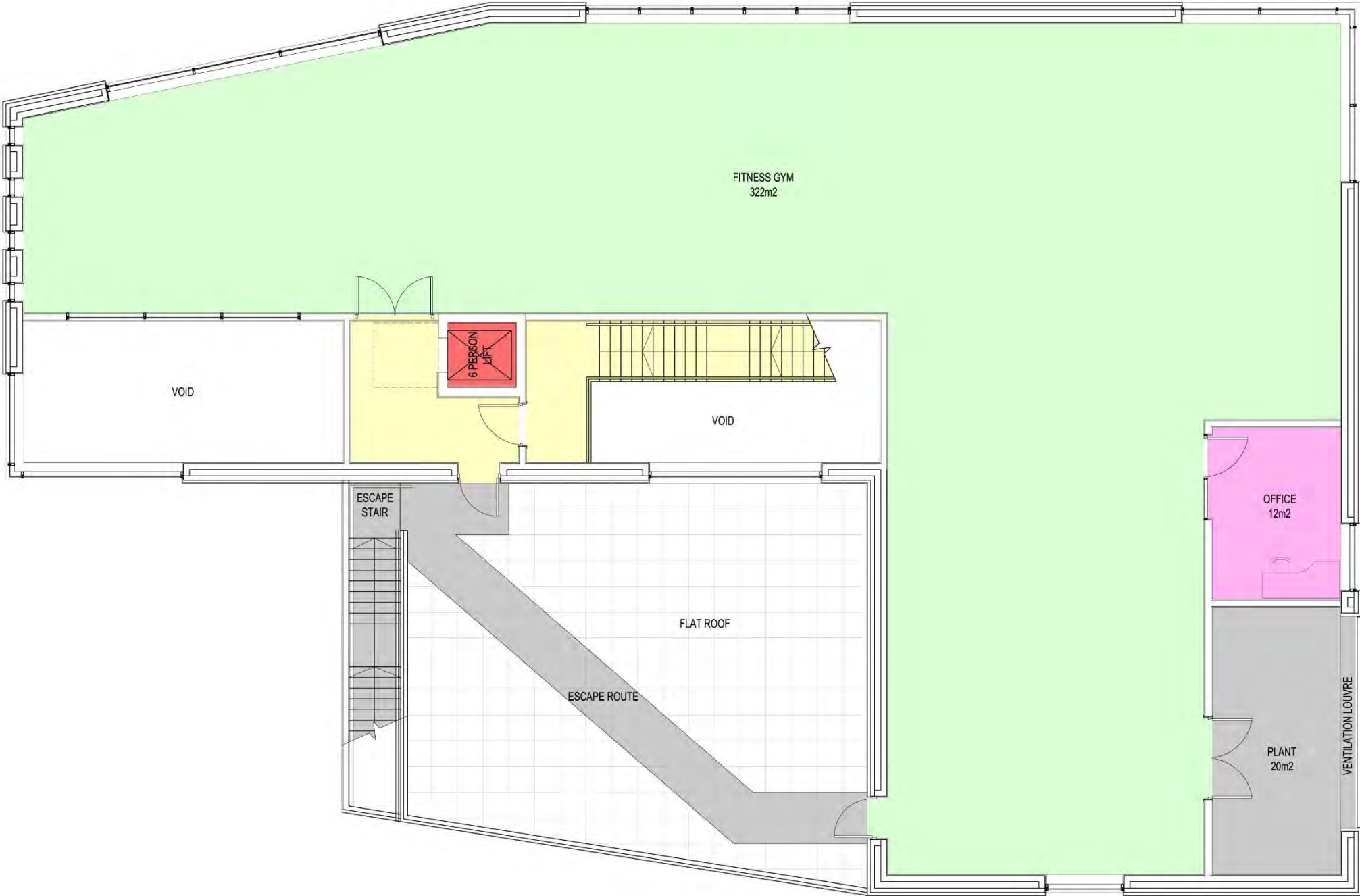
DATE: 08/08/14

Proposed Ground Floor Plan (continued)

1. Easy to navigate around the plan – simple circulation.
2. Reception desk adjacent main entrance to control access.
3. Dry change is arranged to allow easy access to the Studio and adjacent the stairs up to the fitness gym.
4. Outdoor change is positioned in such a way to allow separate access from those using the outdoor facilities to people using the indoor areas to avoid dirt transfer.
5. Café has a link to every indoor facility to promote a community feel.
6. Plant room in ideal location.



Proposed First Floor Plan



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STANDISH COMMUNITY LEISURE CENTRE

FIRST FLOOR PLAN

14011 (08) 101

A

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A Amended in response to feedback from planning department 24/11/14

PLANNING

Proposed First Floor Plan (continued)

